

Vanguard Inspection Group

Vanguard Inspection Group, LLC.

78 Franklin Road

Teaneck, NJ 07666

201-833-4322

www.vanguardinspectiongroup.com

Home Inspection Analysis

Prepared Exclusively For



Property Address

Monroe Township, New Jersey 08831

Inspection Date

October 9, 2010

Analysis Performed

Structural Analysis

Mechanical Systems Analysis

Wood Destroying Insect Analysis

A Professional Real Estate Inspection Company

Since 1990

Vanguard Inspection Group

Vanguard Inspection Group L.L.C.

78 Franklin Road
Teaneck, New Jersey 07666
(201) 833-4322
www.vanguardinspectiongroup.com

Pre-Inspection Agreement

Client:

Address:

Property Address

This report shall detail the results of our visual inspection of the readily accessible areas of this building, in accordance with the terms and conditions of the Pre-Inspection Agreement, which is part of the inspection report and is incorporated herein. Please read the remarks printed on each page and contact our office for an explanation of any aspect of this report, written or printed, which you do not fully understand.

Vanguard Inspection Group agrees to conduct an inspection for the purpose of informing the client of major deficiencies in the condition of the property. The inspection and report are performed and prepared for the sole, confidential, and exclusive use and possession of the customer. The narrative report shall include the following information only:

- ◆ **Structural Conditions**
- ◆ **Exterior Conditions**
- ◆ **Interior Conditions**
- ◆ **Plumbing System**
- ◆ **Heating System**
- ◆ **Electrical System**
- ◆ **Air Conditioning System**
- ◆ **Ventilation System**

It is understood and agreed that this inspection will be of the readily accessible areas of the building and is limited to visual observations of apparent conditions existing at the time of inspection only. Latent and concealed defects and deficiencies are excluded from the inspection. Equipment, items, and systems will not be dismantled. This report is not to be construed as an inspection for compliance with past or present governmental codes or regulations of any kind.

This inspection does not address the possible presence or danger from any potentially harmful substances and environmental hazards including but not limited to radon gas, lead paint, asbestos, urea formaldehyde, toxic or flammable chemicals, water or airborne hazards. Also excluded are inspections of and reports on swimming pools, wells, septic systems, security systems, central vacuum systems, water softeners, sprinkler systems, fire and safety equipment, and the presence of rodents, termites, and other insects.

The parties Agree that Ace Consultants and its employees and agents, assume no liability or responsibility for the cost of repairing or replacing any unreported defects or deficiencies, either current or arising in the future, or for any property damage, consequential damage, or bodily injury of any nature. The inspection and report are not intended to be used as a Guarantee, or Warranty, expressed or implied, regarding the adequacy, performance or condition of any inspected structure, item, or system. Ace Consultants is not an insurer of any inspected condition.

It is understood and agreed that should Ace Consultants and or its agents or employees be found liable for any loss or damages resulting from a failure to perform any of its obligations, including but not limited to negligence, breach of contract, or otherwise, then the liability of Ace Consultants and or its agents or employees, shall be limited to a sum equal to the amount of the fee paid by the Client for the inspection report.

Acceptance and understanding of this agreement and \$_____ fee are hereby acknowledged:

Ace Consultants Representative

Date

Client Name

Date



Vanguard Inspection Group, LLC.

78 Franklin Road
Teaneck, NJ 07666
201-833-4322

www.vanguardinspectiongroup.com

Client Name
Address
City, State, Zip

October 7, 2010

We are here in submitting the reports of the inspections, which were performed, on the structure located at Monroe Township, New Jersey 08831.

These reports are intended to provide you with a general overview of the condition of the premises. Minor deficiencies, which are found in most houses, are not noted. These reports do not include code compliance. Kindly refer to the overall General Limitations and Exclusions and the Limitations and Exclusions specific to individual systems for a full explanation of the scope of this report.

DEFINITION OF CONDITIONS RATINGS

Good Condition- In good physical and mechanical condition with no repairs required at this time.

Fairly Good Condition - Some slight deterioration with possible minor repairs or adjustments required.

Fair Condition - Deteriorated and in need of repairs.

Poor Condition - In need of extensive repairs or replacement.

HOME INSPECTION ANALYSIS

Date: October 7, 2010

For a cost of \$ _____ Vanguard Inspection Group will visually inspect and give a written professional opinion of the present condition of the property located at:

Property Address
Monroe Township, New Jersey

The inspection includes only the items listed in the report, as defined by the Standards of Practice of the State of New Jersey, which are included in this report.

Questions during the inspection are encouraged so that your specific concerns may be addressed. Further evaluation by a "specialist" may be necessary since this is a **general** home inspection.

Every effort has been made to be complete and thorough, leaving the property clean and undisturbed.

It is important for you to know that:

1. This inspection is not a warranty
2. Items that are not visible cannot be inspected
3. This is not a "code" inspection
4. True repair estimates are obtained from contractors, not inspectors
5. This inspection is not a reflection of property value
6. The condition of the property may change before your occupancy

A brief summary is provided for your convenience, but please read the entire report and phone anytime for clarification.

GENERAL INFORMATION

Time In: 11:30

Out: 3:00

Soil: Dry

Weather: Clear / Mid 70's

Type: Single Family

Structure/Home: Occupied () Vacant (x)

Attendees: Buyer(x) Owner () Tenant ()

Agent: Agent Name

Approximate age: 70-80 years

Face: North () South (x) East () West ()

Inspector: Arthur Hood

License # 24GI00083700

STANDARDS OF PRACTICE

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1 INTRODUCTION

The Standards of Practice

- A. provide inspection guidelines
- B. make public the services provided by fee-paid inspectors
- C. define certain terms relating to these inspections

2 PURPOSE AND SCOPE

- 2.1 Inspections performed to these standards shall:
 - A. provide the client with a better understanding of the property conditions, as observed at the time of inspection
- 2.2 Inspectors shall:
 - A. observe readily accessible systems and components listed in these standards
 - B. submit a written report to the client which shall:
 - 1. describe those components specified to be described in sections 4-12 of these Standards
 - 2. state which systems and components designated for inspection in these Standards have been inspected
- 3. state any systems and components so inspected which were found to be in need of immediate major repair
- 2.3 These Standards are not intended to limit Inspectors from:
 - A. reporting observations and conditions in addition to those required in Section 2.2
 - B. excluding systems and components from the inspection if requested by the client

GENERAL LIMITATIONS AND EXCLUSIONS

3.1 General limitations:

- A. Inspections done in accordance with these Standards are visual and are not technically exhaustive.
- B. These standards are applicable to buildings with four or less dwelling units and their garages or carports.

3.2 General exclusions:

- A. Inspectors are not required to report on:
 - 1. the life expectancy of any component or system
 - 2. the causes of the need for a major repair
 - 3. the methods, materials and costs of corrections
 - 4. the suitability of the property for any specialized use
 - 5. compliance or non-compliance with applicable regulatory requirements
 - 6. the market value of the property or its marketability
 - 7. the advisability or inadvisability of purchase of the property
 - 8. any component or system which was not observed
 - 9. the presence or absence of pests such as wood damaging organisms, rodents, or insects
 - 10. cosmetic items, underground items, or items not permanently installed
- B. Inspectors are not required to report on:
 - 1. offer or perform any act or service contrary to law
 - 2. offer warranties or guarantees of any kind
 - 3. offer to perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the inspection is taking

place, unless the inspector holds a valid occupational license, in which case he/she may inform the client that he/she is so licensed, and is therefore qualified to go beyond the State of New Jersey Standards of Practice, and for an additional fee, perform additional inspections beyond those within the scope of the home inspection.

- 4. calculate the strength, adequacy, or efficiency of any system or component
- 5. enter any area or perform any procedure which may damage the property or its components or be dangerous to the inspector or other persons
- 6. operate any system or component which is shut down or otherwise inoperable
- 7. operate any system or component which does not respond to normal operating controls
- 8. disturb insulation, move personal items, furniture, equipment, plant life, soil snow, ice, or debris which obstructs access or visibility
- 9. determine the presence or absence of any suspected hazardous substance including but not limited to toxins, carcinogens, noise, contaminants in soil, water, and air
- 10. determine the effectiveness of any system installed to control or remove suspected hazardous substances
- 11. predict the future conditions, including but not limited to failure of components
- 12. project operating costs of components
- 13. evaluate acoustical characteristics of any system or component

3.3 Limitations and exclusions specific to individual systems are listed in following sections.

VISIBLE CONDITIONS

SATISFACTORY	= system or component is functional and shows typical aging
MARGINAL	= system or component is functional but requires immediate MAINTENANCE and its condition should be MONITORED for replacement within five years
POOR	= system or component is defective and requires immediate repair/replacement
★	= an UNSAFE condition exists and/or further professional evaluation is required

SYSTEM: STRUCTURAL COMPONENTS

VISIBLE CONDITIONS

- 4.1 The Inspector shall observe:
 - A. structural components including:
 - 1. foundation
 - 2. floors
 - 3. walls
 - 4. columns
 - 5. ceilings
 - 6. roofs
- 4.2 The inspector shall:
 - A. describe the type of:
 - 1. foundation
 - 2. floor structure
 - 3. wall structure
 - 4. columns
 - 5. ceiling structure
 - 6. roof structure
 - B. probe structural components where deterioration is suspected. However, probing is not required when probing would damage any finished surface.
 - C. enter underfloor crawlspaces and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected
 - D. report the methods used to observe underfloor crawlspaces and attics
 - E. report signs of water penetration into the building or signs of abnormal or harmful condensation on building components.

	S	M	P
foundation	X		
floors			X
walls	X		
columns	X		
beams	X		
joists	X		
ceilings			
rafters/trusses			
sheathing			

Wood deterioration at:

Crawspace entered? N/A

Attic entered? N/A

Water penetration? yes(x) no()

Limitations: Stored items and mounds of dirt conceal portions of the foundation wall surfaces.

COMMENTS: The dwelling is a wood framed two-story structure. The foundation walls are constructed with poured concrete and concrete blocks. The inspection revealed evidence that the house was originally built above a crawlspace. It appears that the basement area was excavated to create a full basement. The section of poured concrete above the concrete blocks appeared to be the original foundation. The basement area is cluttered and contains large mounds of dirt which conceal sections of the foundation wall surfaces.

Built-up beam support the structure. The beams appeared to be in good overall physical condition and free of any visible and significant boring or notching. Concrete block columns support the beam. The columns appeared to be in good physical condition.

The basement flooring is largely unfinished natural earth. Evidence of substantial excavation was observed. A finished concrete slab floor should be provided to help prevent moisture penetration and to provide a safe and hazard free walking surface.

The visual inspection of the interior load bearing walls showed evidence of structural deterioration. Cracked walls and uneven flooring surfaces were noted at each level of the structure.

It is recommended that a licensed architect or structural engineer be consulted to provide a more detailed structural analysis of the building. Additionally, it is recommended that proof of construction permit acquisition and municipal inspection approval be provided by the seller prior to closing.

Basement: full crawlspace slab at grade

Walls: poured concrete concrete block brick stone wood

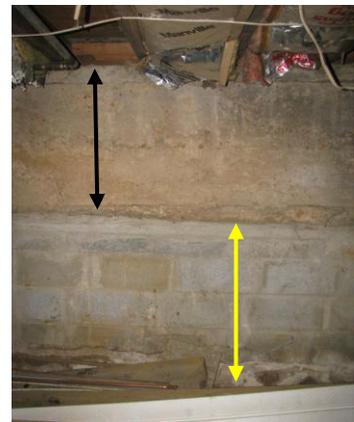
Floors: concrete earth boards plywood waferboard

Joists: 2 x timbers trusses

Beams: wood built up steel timbers concrete

Columns: steel wood blocks bricks

Roof: gable hip shed flat



The poured concrete (black arrow) above the concrete blocks is the original foundation wall. Concrete blocks (yellow arrow) were installed after the basement was dug out.



Dirt mound in basement area conceals portions of the foundation wall surfaces.

SYSTEM: EXTERIOR

VISIBLE CONDITIONS

- 5.1 The Inspector shall observe:
 - A. Wall cladding, flashing and trim
 - B. Entryway doors and a representative number of windows
 - C. Garage door openers
 - D. Decks, balconies, stoops, steps, areaways, and porches, including railings
 - E. Eaves, soffits, and fascias
 - F. Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building
- 5.2 The inspector shall:
 - A. describe wall cladding materials
 - B. operate all doors and representative number of windows including garage doors, manually or by using permanently installed controls of any garage door opener
 - C. report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing.
- 5.3 The inspector is not required to observe:
 - A. storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories
 - B. fences
 - C. safety glazing
 - D. garage door opener remote control transmitters
 - E. geological conditions
 - F. soil conditions
 - G. recreational facilities
 - H. outbuildings other than garages and carports

	S	M	P
wall cladding	X		
trim/fascia/soffit	X		
entry doors		X	
prime windows	X		
garage doors			
driveway/walks	X		
steps/railings	X		X
porch/balcony	X		
deck/patio		X	
retaining walls			
exterior faucets			X

Wood deterioration at:
 Vegetation: trim limits view OK
 Adequate ground drainage? yes (x) no ()
 Garage door opener: N/A
 Limitations: None

COMMENTS: The exterior walls of the structure are finished with vinyl siding. The wall surfaces appeared to be in fairly good overall physical condition. Missing siding panels were observed at the rear wall. The trim at the windows and doors appeared to be in good physical condition. The soffit at the rear wall has been removed to accommodate ventilation ductwork. The soffit requires repair to provide full enclosure. The visual inspection of the exterior surfaces of the foundation walls showed the surfaces to appear to be in good physical condition.

The brick front steps appeared to be in good physical condition. The iron railings at the front porch appeared to be in poor physical condition. The handrails are weak and do not provide adequate lateral strength. The installation of new handrails is recommended to ensure a stable railing. The paver sidewalk was observed to be in good physical condition. The asphalt driveway surface appeared to be in good overall physical condition.

The deck structure appears to be in fair to poor overall physical condition. Evidence of visible deterioration was observed at the floor boards, railings, and rim joists. Carpentry repairs are required to repair the deteriorated materials and prevent further deterioration. The deck appears to be constructed with pressure treated lumber. The floor joists and support columns appeared to be in fairly good physical condition.

The detached garage structure appears have been converted into a dwelling unit. The asphalt shingle roof appeared to be in poor physical condition. Visible deterioration was observed at the rolled roofing surfaces. Immediate roof replacement is required to ensure a watertight surface. The visible evidence of active mold growth was observed at the interior walls.

Wall cladding: wood metal vinyl fiberboard masonry
 Trim/fascia/soffit: wood metal vinyl
 Entry doors: wood metal
 Prime windows: wood metal vinyl glass: single() double(x)
 Patio doors: wood metal vinyl glass: single() double()
 Garage door(s): wood metal fiberglass fiberboard
 Driveway: asphalt walks/steps: pavers porch: brick deck/patio: wood

SYSTEM: ROOFING

- 6.1 The inspector shall observe:
 - A. roof coverings
 - B. roof drainage systems
 - C. flashings
 - D. skylights, chimneys, and roof penetrations
 - E. signs of leaks or abnormal condensation on building components
- 6.2 The inspector shall:
 - A. describe the type of roof covering materials
 - B. report on the method used to observe the roofing
- 6.3 The inspector is not required to:
 - A. walk on the roof
 - B. observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors

VISIBLE CONDITIONS

	S	M	P
#1 roof covering			X
#2 roof covering			X
#3 roof covering			X
valleys			
gutters	X		
downspouts	X		
extensions/splash blocks		X	
flashing			
skylights			
#1 chimney			X
#2 chimney			
plumbing vents	X		
ventilation			X

COMMENTS: The primary roof structure is finished with multiple layers of roofing materials. The roof shows evidence of patch repairs in multiple locations. Missing, cracked, and loose shingles were observed at multiple locations. Immediate roof replacement is recommended to ensure a watertight surface. The roof is equipped with four skylights. Evidence of water leakage was observed at one of the living room skylights. Repairs are required to ensure a watertight surface.

The masonry chimney was observed to be in poor physical condition. Visible brick and mortar deterioration was observed. The chimney is not sealed around the vent pipe that runs through it. The chimney flashing is in poor physical condition. Masonry and flashing repairs are required to ensure a watertight surface. The metal plumbing vents were observed to be in good overall physical condition.

The drainage system consists of aluminum gutters and downspouts. All drainage system components appeared to be in fairly good physical condition. A more detailed analysis of the roof by a roofing professional is recommended prior to closing.

The garage roof is finished with asphalt shingles and rolled roofing. Visible deterioration was observed at the rolled roofing surfaces. Roof replacement is recommended prior to closing to prevent water penetration.

Inspection method: on roof ladder at eaves ground binoculars
 Roof slope: flat low medium steep
 Visible covering(s): asphalt wood slate tile rolled
 Gutters: aluminum copper galvanized plastic
 Flashing: metal tarred/not visible asphalt valleys
 Chimneys # metal masonry wood frame over metal
 Skylights # 4 plastic glass none
 Plumbing vents # 3 plastic copper cast iron galvanized
 Attic vents: soffit roof ridge gable fan none

Sign of leaks? yes (x) no ()
 Adequate drainage? yes (x) no ()

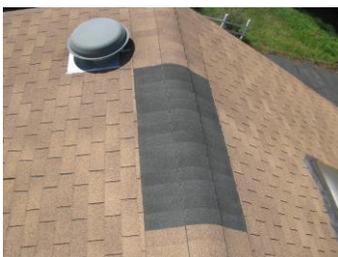
Limitations: None



Visible shingle deterioration as observed at main roof surface.



Shingle deterioration as observed at lower front roof surface.



Patch repair as observed at lower left roof.



Patch repair as observed at lower rear roof.



Water stained skylight at living room indicates previous water leakage.

VISIBLE CONDITIONS

SYSTEM: PLUMBING

- 7.1 The Inspector shall observe:
 - A. Interior water supply and distribution system including:
 - 1. piping materials, including supports and insulation
 - 2. fixtures and faucets
 - 3. functional flow
 - 4. leaks
 - 5. cross connections
 - B. Interior drain, waste and vent system, including
 - 1. traps; drain waste, and venting piping; supports and pipe insulation
 - 2. leaks
 - 3. functional drainage
 - C. Hot water systems including:
 - 1. water heating equipment
 - 2. normal operating controls
 - 3. automatic safety controls
 - 4. chimneys, flues, and vents
 - D. fuel storage and distribution systems including:
 - 1. interior fuel storage equipment, supply piping, venting, and supports
 - 2. leaks
 - E. sump pump
- 7.2 The inspector shall
 - A. describe:
 - 1. water supply and distribution materials
 - 2. drain waste, and vent piping materials
 - 3. water heating equipment
 - B. operate all plumbing fixtures, including their faucets and all exterior faucets attached to the outside of the house
- 7.3 The inspector is not required to:
 - A. state the effectiveness of anti-siphon devices
 - B. determine whether water supply and waste disposal systems are public or private
 - C. operate automatic safety controls
 - D. operate any valve except for water closet flush valves, fixture faucets, and hose faucets
 - E. observe:
 - 1. water conditioning systems
 - 2. fire and lawn sprinkler systems
 - 3. on-site waste disposal systems
 - 4. foundation irrigation systems
 - 5. spas, except functional flow and functional drainage

	S	M	P
supply pipes	X		
waste pipes	X		
pressure	X		
drainage	X		
vents			
sump pump/discharge			X
fuel supply pipe			
flue pipe	X		
casing	X		
tank bottom	X		
temp control	X		

Relief valve? yes(x) no()
 Extension pipe? yes(x) no()
 Cross connection? yes() no(x)
 Leaks? yes(x) no()
Active leakage beneath 2nd floor vanity sink.

Limitations: None



Active water leakage as observed beneath the 2nd floor bathroom vanity sink.

COMMENTS: The plumbing system is comprised of copper tubing, plastic and galvanized iron piping. The visual inspection of the accessible supply piping showed the supply piping to appear free of active leaks and in good overall condition. All plumbing fixtures were operated and appeared to be in proper operating condition. Water pressure appeared to be adequate at all fixtures.

Active water leakage was observed beneath the 2nd floor bathroom vanity sink. The remaining visible drain lines are appeared to be free of active leaks. All drain lines flowed freely and gave no indication of clogs. The visible section of the sanitary sewer line appeared to be in good physical condition.

The hot water tank appeared to be in fairly good physical condition. The tank body appeared to be free of visible corrosion, leakage, or deterioration. The flue pipe appeared to be in good condition and adequately sealed at the chimney connection. The water line observed at the tank body indicates that the tank has been previously submerged as much as 2/3rds of its height. The tank appeared to be operable as hot water production was verified at the time of inspection. The rear exterior hose bib line shows evidence of previous freezing and has been ruptured. Replacement of the supply line is required.

Visible supply pipes: copper galvanized plastic lead
 Visible waste pipes: copper galvanized plastic lead cast iron
 Water heater: gas electric oil
 Make: Bradford White Approximate Age: 12-15 years Capacity: 50 gallons

SYSTEM: ELECTRICAL

VISIBLE CONDITIONS

- 8.1 The Inspector shall observe:
 - A. service entrance conductors
 - B. service equipment, grounding equipment, main overcurrent device, main and distribution panels
 - C. amperage and voltage ratings of the service
 - D. branch circuit conductors, their overcurrent devices, and the compatibility of their ampacities and voltages
 - E. the operation of a representative number of installed lighting fixtures, switches and receptacles located inside the house, garage, and on its exterior walls
 - F. the polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and on all receptacles in the garage or carport, and on the exterior of inspected structures
 - G. the operation of Ground Fault Circuit Interrupters
- 8.2 The inspector shall:
 - A. describe:
 - 1. service amperage and voltage
 - 2. service entry conductor materials
 - 3. service type as being overhead or underground
 - 4. location of main and distribution panels
 - B. report any observed aluminum wiring
- 8.3 The inspector is not required to:
 - A. insert any tool, probe, or testing device inside the panels
 - B. test or operate any overcurrent device except Ground Fault Circuit Interrupters
 - C. dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels
 - D. observe:
 - 1. low voltage systems
 - 2. smoke detectors
 - 3. telephone, security, cable TV connections, and other ancillary wiring that is not a part of the primary electrical distribution system

	S	M	P
overhead entry	X		
meter	X		
main conductor	X		
main panel		X	
grounding	X		
bushings/knockouts	X		
branch circuits			
exterior electrical			
exposed wiring			
garage electrical			

GFCI's functional? yes() no(x)
 Aluminum wiring? yes() no(x)
 Knob & tube wiring? yes() no(x)
 Sub-panels? yes(x) no()
100 amp subpanel at 1st floor
 Functional smoke alarms? yes() no(x)
Battery Powered Hard Wired

Limitations: Electrical service disconnected at the time of inspection.

COMMENTS: The electrical system is rated at 200 amps. The service entrance cable was observed to be in good physical condition. The main panel appeared to be in good physical condition. The panel appeared to be properly grounded at the water pipe. The panel currently contains 31 circuits. The circuits are controlled and protected by circuit breakers.

The visual inspection revealed evidence of previous flooding in the basement area which submerged the service panel as much as 2/3rds of its height. Visible water lines were observed at the interior and exterior surfaces of the main service panel. The height of the visible dirt accumulations inside the panel correspond with the water lines noted at the panel cover.

Exposed wiring was observed at multiple locations inside and outside of the house. All exposed wiring represents an imminent hazard that should be eliminated immediately. The outlets at the kitchen countertop, bathrooms, and exterior locations should be upgraded to provide GFCI protection. It is recommended that a licensed electrician be consulted to perform a more detailed analysis and provide all required repairs to the system prior to closing.

Service entrance: overhead underground conductor size_equals_Amps
 Main panel location: basement Main panel rating 125 Amps
 Main over current device: fuse breaker main over current rating: 200 Amps
 Grounding location: water pipe rod power company
 Branch circuit protection: fuses breakers wire: copper aluminum
 120 volt circuits: 12 @ 15 amps 19 @ 20 amps 4 @ 1000 amps
 240 volt circuits: range_____amp dryer_____amp A/C_____amp
 Water heater_____amp water pump_____amp



Water line as observed inside the main service panel.



Exposed electrical wiring as observed at front ground level.

SYSTEM: HEATING

9.1 The Inspector shall observe:

- A. permanently installed heating systems including:
 1. heating equipment
 2. normal operating controls
 3. automatic safety controls
 4. chimneys, flues, and vents
 5. solid fuel heating devices
 6. heating distribution systems including fans, pumps, ducts, and piping, with supports, dampers, insulation, air filters, registers, radiators, fan coil units, convectors
 7. the presence of an installed heat source in each room

9.2 The Inspector shall:

- A. describe:
 1. energy source
 2. heating equipment and distribution type
- B. operate the systems using normal operating controls
- C. open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance

9.3 The Inspector is not required to:

- A. operate heating systems when weather conditions or other conditions or circumstances may cause equipment damage
- B. operate automatic safety controls
- C. Ignite or extinguish solid fuel fires
- D. observe:
 1. the interior of flues
 2. fireplace insert flue connections
 3. humidifiers
 4. electronic air filters
 5. the uniformity or adequacy of heat supply to the various rooms

VISIBLE CONDITIONS

	S	M	P
burner			
flue pipe	X		
chimney connection	X		
fuel supply	X		
thermostat			
distribution			
blower/pump			
filter			
T/P/R valve			
high limit safety			

Functional? yes() no()
 Unusual conditions yes() no()
 Solid fuel heating devices yes() no(x)
 Type:

	S	M	P
firebox			
visible flue			
clearance			
door/screen			

Limitations: No gas service. No electrical service.

COMMENTS: The heating system is gas-fired hot water. The visual inspection of the exterior housing assembly showed the assembly to be in poor physical condition. Extensive corrosive deterioration was observed at the housing assembly. The venting flue appeared to be in fairly good physical condition. All visible water supply and return lines were observed to be in fair physical condition.

The gas and electric services were disconnected which prevented mechanical testing of the boiler. Conditions in the basement area show evidence of previous flooding. The waterlines at objects in the basement indicate that the boiler is likely to have been completely submerged.

Each habitable room is equipped with a cast iron radiator or copper baseboard heating element.

Verification of mechanical operation of the boiler is recommended prior to closing. The data plates are missing from the boiler.

Type of heat: forced air gravity hot water steam
 Type of fuel: nat. gas l.p. gas oil electric
 Distribution: ductwork copper pipes steel pipes

Make: Approximate Age: 15-20 years Capacity: k BTU



Substantial corrosive deterioration as observed at boiler housing assembly.

SYSTEM: CENTRAL AIR

VISIBLE CONDITIONS

- 10.1 The Inspector shall observe:
 - A. central air conditioning including
 - 1. cooling and air handling equipment
 - 2. normal operating controls
 - B. distribution systems including:
 - 1. fans, pumps, ducts and piping, with supports, dampers, insulation, air filters, registers, fan coil units
 - 2. the presence of an installed cooling source in each room
- 10.2 The Inspector shall:
 - A. describe:
 - 1. energy sources
 - 2. cooling equipment type
 - B. operate the systems using normal operating controls
 - C. open readily openable access panels provided by the manufacturer or installer for routine maintenance
- 10.3 The inspector is not required to :
 - A. operate cooling systems when weather conditions or other circumstances may cause equipment damage
 - B. observe non-central air conditioners
 - C. observe the uniformity or adequacy of cool air supply to the various rooms

	S	M	P
exterior casing			
exterior fins			
elect. disconnect			
ref. lines/insulation			
interior ducts			
condensate drain			
thermostat			

Functional? yes() no()

Adequate cooling? yes() no()

Unusual conditions? yes() no()

Limitations:

COMMENTS: No central air conditioning system.

type of cooling:	electric split system	combo HVAC unit	combo w/heat pump
type of fuel:	electricity	ground water	
Distribution:	ductwork	same as heat	separate
Make:	Approximate Age yrs.	Approximate Capacity	

SYSTEM: INTERIORS

- 11.1 The Inspector shall observe:
- walls, ceilings, and floors
 - steps, stairways, balconies, and railings
 - counters and a representative number of cabinets
 - a representative number of doors and windows
 - separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit
 - sumps
- 11.2 The inspector shall:
- operate a representative number of primary windows and interior doors
 - report signs of water penetration into the building or signs of abnormal or harmful condensation on the building components
- 11.3 The inspector is not required to observe:
- paint, wallpaper, and other finish treatments on the interior walls ceilings and floors
 - carpeting
 - draperies, blinds, or other window treatments
 - household appliances
 - recreational facilities or another dwelling unit

COMMENTS: The interior walls and ceilings are finished with sheetrock and ceramic wall tiling. The visual inspection of the wall and ceiling surfaces showed cracks, sagging, and deterioration at multiple wall and ceiling surfaces throughout the house. Drywall repairs are required at each level of the building. Evidence of mold growth was observed at the ceiling of one of the first floor bathrooms. The ceramic wall tile surfaces at the bathrooms were observed to be in fairly good physical condition.

The floors are finished with hardwood and ceramic flooring surfaces. Visible water damage was observed at the living room floors adjacent to the window walls. Visible tile floor damage was observed at the front first floor bathroom. The remaining tile floor surfaces appeared to be in fairly good overall condition.

The interior doors, their hardware and trim appear to be in fair overall physical and mechanical condition. Vinyl double hung windows are employed as the primary interior window. Cracked and damaged window frames were noted at multiple windows. All damaged windows require repair or replacement.

The kitchen cabinetry and countertops were observed to be in poor overall physical condition. The cabinets are poorly installed and secured to the walls and floors. Countertop surfaces are also in poor condition and poorly attached to the cabinets. Cabinet and countertop replacement is required.

Proper laundry hook ups? N/A

Dryer: gas electric

Are there signs of leaks or abnormal condensation? yes() no(x)

Do steps, stairs, balconies, and railings require repair? yes(x) no()

The basement access hatch beneath the main stairs is not provided with stairs.

Are house/garage/"party" separation surfaces complete? N/A



Evidence of mold growth as observed at the ceiling in the right rear first floor bathroom.

VISIBLE CONDITIONS

KITCHEN/DINING	S	M	P
walls/ceiling		X	
floor		X	
cabinets			X
counters			X
sink		X	
plumbing	X		
electrical			
door/window		X	
heat source			

BATHROOM(S)	# 5		
walls/ceiling	X	X	
floor	X	X	
vanity/basin	X	X	
tub/shower	X	X	
toilet	X	X	
plumbing	X	X	
electrical			
door/window	X	X	
heat source	X		

LIVING ROOM	S	M	P
walls/ceiling			X
floor			X
electrical			
door/window			X
heat source	X		

FAMILY ROOM	S	M	P
walls/ceiling			
floor			
electrical			
door/window			
heat source			

Bedrooms	# 5		
walls/ceiling	X	X	
floor	X	X	
electrical	X	X	
door/window	X	X	
heat source	X	X	

Limitations: None

12 SYSTEM: INSULATION & VENTILATION

VISIBLE CONDITIONS

- 12.1 The Inspector shall observe:
- A. insulation and vapor retarders in unfinished spaces
 - B. ventilation of attics and foundation areas
 - C. kitchen, bathroom, and laundry venting systems
- 12.2 The inspector shall describe:
- A. insulation and vapor retarders in unfinished spaces
 - B. absence of same in unfinished space at conditioned surfaces
- 12.3 The inspector is not required to report on:
- A. concealed insulation and vapor retarders
 - B. venting equipment which is integral with household appliances

	S	M	P
insulation			
attic vents			
foundation vents			
kitchen			
bath(s)			
dryer vent			

Limitations: No access panels to verify the presence of building insulation.

COMMENTS: The house in not equipped with an attic or access panels to verify the presence of building insulation.

Is there any reason to suspect inadequate combustion air? yes() no()

Are insulation/vapor retarders missing or improperly installed? yes() no()

Is there any exposed foam or paper covering? yes() no()

Visible insulation: cellulose fiberglass rockwool foam
 Roll/batt loose fill rigid

Visible vapor retarders: paper plastic foil

HOME INSPECTION REPORT

Photo Log



The water line at the housing assembly is an indication of flooding. The inset photo shows that the water line measures 43 inches above the floor.



Water line at the gas meter and electric service pane is further evidence of flooding in the basement area. The water line measures 43 1/2 inches above the floor. A more detailed analysis of the service panel by a licensed electrician is recommended prior to closing.



Visible cracks as observed at first floor wall.



Cracked wall and ceiling as observed at second floor bedroom.



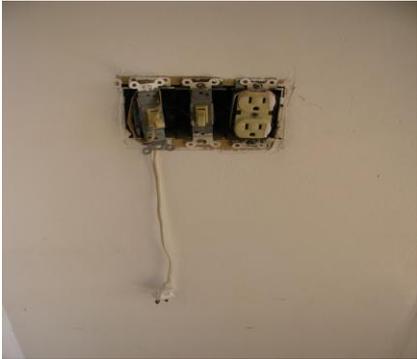
Visible cracks at living room wall surface.



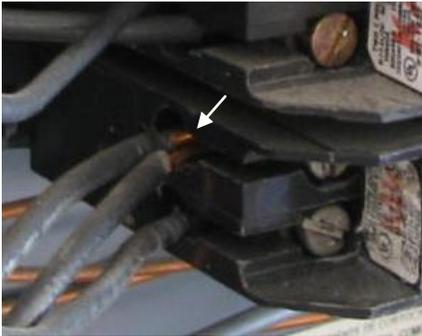
Visible wall crack as observed at first floor.

HOME INSPECTION REPORT

Photo Log



Exposed electrical wiring as observed at the front wall in the front foyer.



A double tapped circuit breaker as observed in ground floor subpanel.



Exposed Romex wiring as observed at ground level in front of the house.



Exposed wire at 2nd floor bathroom wall.



Damaged window frame as observed at 2nd floor bedroom.



Deteriorated floor boards as observed at deck surface.



Cracked tiles as observed at the floor in the front first floor bathroom.



The chimney cap is secured with duct tape. The cap should be securely fastened to the chimney with appropriate fasteners to prevent the cap from falling and possibly striking someone or damaging the property.



Visible deterioration at deck tread.



Visible wood damage and disconnected screws as observed at the deck.

HOME INSPECTION REPORT

Photo Log



Visible deterioration as observed at the chimney structure.



Termite shelter tube as observed at basement wall.



Termite shelter tube as observed at basement framing and water line.



Water damaged floor at living room.



Water damaged floor at living room.



Roofing deterioration as observed at garage roof.

HOME INSPECTION REPORT

Item of Note

- Evidence of previous flooding was observed in the basement area

The following conditions should be regarded as items of immediate concern and should be addressed prior to closing:

- Verification of structural integrity of the building
- Verification of permit issuance and municipal inspection of structural alterations
- Roof deterioration at main house
- Roof deterioration at garage structure
- Wood destroying insect infestation
- Verification of boiler operation
- Verification of operation of electrical system
- Elimination of exposed electrical wiring
- Chimney deterioration
- Structural cracks at interior walls

Thank you for allowing us to serve you. Please read this report in its entirety for information on items to be monitored and that require maintenance. We hope that you found our service beneficial and educational, and that you'll recommend us to your friends.

ARTHUR HOOD
VANGUARD INSPECTION GROUP

GLOSSARY

Automatic Safety Controls: devices designed and installed to protect systems and components from excessively high or low pressures or temperatures, excessive electrical current, loss of water, loss of ignition, fuel leaks, fire, freezing, or other unsafe conditions.

Central Air Conditioning: A system, which uses ducts to distribute cooled and/or dehumidified air to more than one room or uses pipes to distribute chilled water to heat exchangers in more than one room, and which is not plugged into an electrical convenience outlet.

Component: A readily accessible and observable aspect of system, such as a floor or wall, but not individual pieces such as boards or nails, where many similar pieces make up the component.

Cross Connection: Any physical connection or arrangement between potable water and any source of contamination.

Dangerous or Adverse Situation: Situations which pose a threat of injury to the inspector, and those situations which require their use of special protective clothing or safety equipment.

Describe: Report in writing a system or component by its type, or other observed characteristics, to distinguish it from other components used for the same purpose.

Dismantle: To take apart or remove any component, device or piece of equipment that is bolted, screwed, or fastened by other means and that would not be dismantled by a homeowner in the course of normal home maintenance.

Engineering: Analysis or design work requiring extensive preparation and experience in the use of mathematics, chemistry, physics, and the engineering sciences.

Enter: To go into an area to observe all visible components.

Functional Drainage: A drain is functional when it empties in a reasonable amount of time and does not overflow when another fixture is drained simultaneously.

Household Appliances: Kitchen and laundry appliances, room air conditioners, and similar appliances.

Inspector: Any person who examines any component of a building, through visual means and through normal user controls, without the use of mathematical sciences.

Installed: Attached or connected such that the item requires tools for removal.

Normal Operating Controls: Homeowner operated devices such as a thermostat, wall switch, or safety switch.

Observe: The act of making a visual examination.

On-site Water Supply Quality: Water quality is based on the Bacterial, chemical, mineral, and solids content of the water.

On-site Water Supply Quantity: Water quantity is the rate of flow of the water.

Operation: To cause systems or equipment to function.

Primary Windows and Doors: Windows and/or Exterior doors, which are designed to remain in their respective openings year round and not left open for the entire summer.

Readily Openable Access Panels: A panel provided for homeowner inspection and maintenance, which has removable or operable fasteners or latch devices in order to be lifted off, swung open, or otherwise removed by one person, and its edges and fasteners are not painted in place. limited to those panels within reach of a 4' stepladder, and which are not blocked by stored items, furniture, or building components.

Recreational Facilities: Spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment or athletic facilities.

Representative Number: For multiple identical components such as windows, and electrical outlets-one such component per room. For multiple identical exterior components-one such component on each side of the building.

Roof Drainage Systems: Gutters, downspouts, leaders (extensions) splashblocks, and similar components used to carry water off a roof and away from a building.

Safety Glazing: Tempered glass, laminated glass, or rigid plastic.

Shut Down: A piece of equipment or system is shut down when it can not be operated by the device or control which a homeowner should normally use to operate it. If its safety switch or circuit breaker is in the "off" position, or its fuse is missing or blown, the inspector is not require to reestablish the circuit for the purpose of operating the equipment or system.

Solid Fuel Heating Device: any wood, coal, or other similar organic fuel burning device, including but not limited to fireplaces, whether masonry or factory built, fireplace inserts, And stoves, woodstoves (room heaters), central furnaces, and combinations of these devices.

Structural Component: A component, which supports non-variable forces or weights (dead loads) and variable forces or weights (live loads).

System: A combination of interfacing or interdependent components, assembled to carry out one or more functions.

Technically Exhaustive: An inspection is technically exhaustive when it involves the extensive use of measurements, Instruments, testing, calculations, and other means to develop scientific or engineering findings, conclusions or recommendations.

Underfloor Crawl Space: The area within the confines of the foundation and between the ground and the underside of the lowest floor structural component.



Vanguard Inspection Group, LLC.
78 Franklin Road
Teaneck, NJ 07666
201-833-4322
www.vanguardinspectiongroup.com

Invoice

Name: Client Name			
Address:			
City:	State:	Zip:	
Property:	City: Monroe Township	State: NJ	Zip: 08831

Quantity	Description	Total
1	Home Inspection Analysis	\$

Received

Date	Method	Amount
10/9/10	Cash / Check # / Money Order #	\$

Wood Destroying Insect Inspection Report

Notice: Please read important consumer information on page 2.

Section I. General Information

Inspection Company, Address & Phone

Company's Business Lic. No.

Date of Inspection

Address of Property Inspected

Inspector's Name, Signature & Certification, Registration, or Lic. #

Structure(s) Inspected

Section II. Inspection Findings

This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or defects. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

A. No visible evidence of wood destroying insects was observed.

B. Visible evidence of wood destroying insects was observed as follows:

1. Live insects (description and location): _____

2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location): _____

3. **Visible** damage from wood destroying insects was noted as follows (description and location): _____

NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Yes No It appears that the structure(s) or a portion thereof may have been previously treated. Visible evidence of possible previous treatment: _____

The inspecting company can give no assurances with regard to work done by other companies. The company that performed the treatment should be contacted for information on treatment and any warranty or service agreement which may be in place.

Section III. Recommendations

No treatment recommended: (Explain if Box B in Section II is checked) _____

Recommend treatment for the control of: _____

Section IV. Obstructions and Inaccessible Areas

The following areas of the structure(s) inspected were obstructed or inaccessible:

Basement _____

Crawlspace _____

Main Level _____

Attic _____

Garage _____

Exterior _____

Porch _____

Addition _____

Other _____

The inspector may write out obstructions or use the following optional key:

- | | |
|-------------------------|--|
| 1. Fixed ceiling | 13. Only visual access |
| 2. Suspended ceiling | 14. Cluttered condition |
| 3. Fixed wall covering | 15. Standing water |
| 4. Floor covering | 16. Dense vegetation |
| 5. Insulation | 17. Exterior siding |
| 6. Cabinets or shelving | 18. Window well covers |
| 7. Stored items | 19. Wood pile |
| 8. Furnishings | 20. Snow |
| 9. Appliances | 21. Unsafe conditions |
| 10. No access or entry | 22. Rigid foam board |
| 11. Limited access | 23. Synthetic stucco |
| 12. No access beneath | 24. Duct work, plumbing, and/or wiring |

Section V. Additional Comments and Attachments (these are an integral part of the report)

Attachments _____

Signature of Seller(s) or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.

X

Signature of Buyer. The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X

Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

- 1. About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. ***For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.*** **This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. This shall not be construed as a 90-day warranty. There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.**
- 2. Treatment Recommendation Guidelines Regarding Subterranean Termites:** FHA and VA require treatment when any active infestation of subterranean termites is found. If signs of subterranean termites — but no activity — are found in a structure that shows no evidence of having been treated for subterranean termites in the past, then a treatment should be recommended. A treatment may also be recommended for a previously treated structure showing evidence of subterranean termites — but no activity — if there is no documentation of a liquid treatment by a licensed pest control company within the previous five years unless the structure is presently under warranty or covered by a service agreement with a licensed pest control company.
- 3. Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
- 4. Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
- 5. Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**